

BC ONLINE LAND TITLE INTERNET SERVICE
PROVIDED IN CO-OPERATION WITH
LAND TITLE BRANCH - MINISTRY OF SUSTAINABLE RESOURCE MANAGEMENT

B.C. LAND TITLE BRANCH - DOCUMENT RETRIEVAL

WEB REQUEST

CLIENT NAME: RE/MAX REAL ESTATE SERVICES AS
ADDRESS: REALTY LTD.
410-650 WEST 41ST AVE NORTH OFFICE TOWER
VANCOUVER BC V5Z 2M9

PICK-UP INSTRUCTIONS:

USER ID: PA74746 APPLICATION NO.: VAS1191 VA PAGES: 004
ACCOUNT NO.: 199822 REQUESTED AT: 04-05-05 15:07
REFERENCE NO.: N31946 FOLIO NO.: TEMMY YLAGAN

REMARKS:

BC ONLINE LAND TITLE INTERNET SERVICE

HELP DESK VICTORIA (250) 953-8200
IN B.C. 1-800-663-6102
ADMINISTRATION OFFICE ... (250) 953-8250
FAX NUMBER (250) 953-8222

PERSONS WHO NEED TO RELY ON A PLAN FOR LEGAL PURPOSES MUST EXAMINE THE OFFICIAL VERSION AT THE LAND TITLE OFFICE IN WHICH THE PLAN IS DEPOSITED.

THE BYLAW AND COMMON PROPERTY SHEETS ATTACHED TO STRATA PLANS HAVE BEEN REPEALED. INFORMATION REGARDING THE BYLAWS AND/OR DEALINGS AFFECTING THE COMMON PROPERTY OF STRATA PLANS MUST BE OBTAINED FROM THE GENERAL INDEX AND/OR COMMON PROPERTY INDEX ON ALTOS. REFER TO THE BC ONLINE USER GUIDE FOR ACCESS INFORMATION.

09

FIRST SHEET

SHEET 1 OF 10 SHEETS

STRATA PLAN 1191

STRATA PLAN OF LOT 'F', BLOCK 224
DISTRICT LOT 526, PLAN 19001
CITY OF VANCOUVER

DEPOSITED AND REGISTERED IN THE LAND
TITLE OFFICE AT VANCOUVER, B.C.
THIS 27TH DAY OF SEPTEMBER 1982.

A.H. Ombres
DEPUTY REGISTRAR

H 61263-L

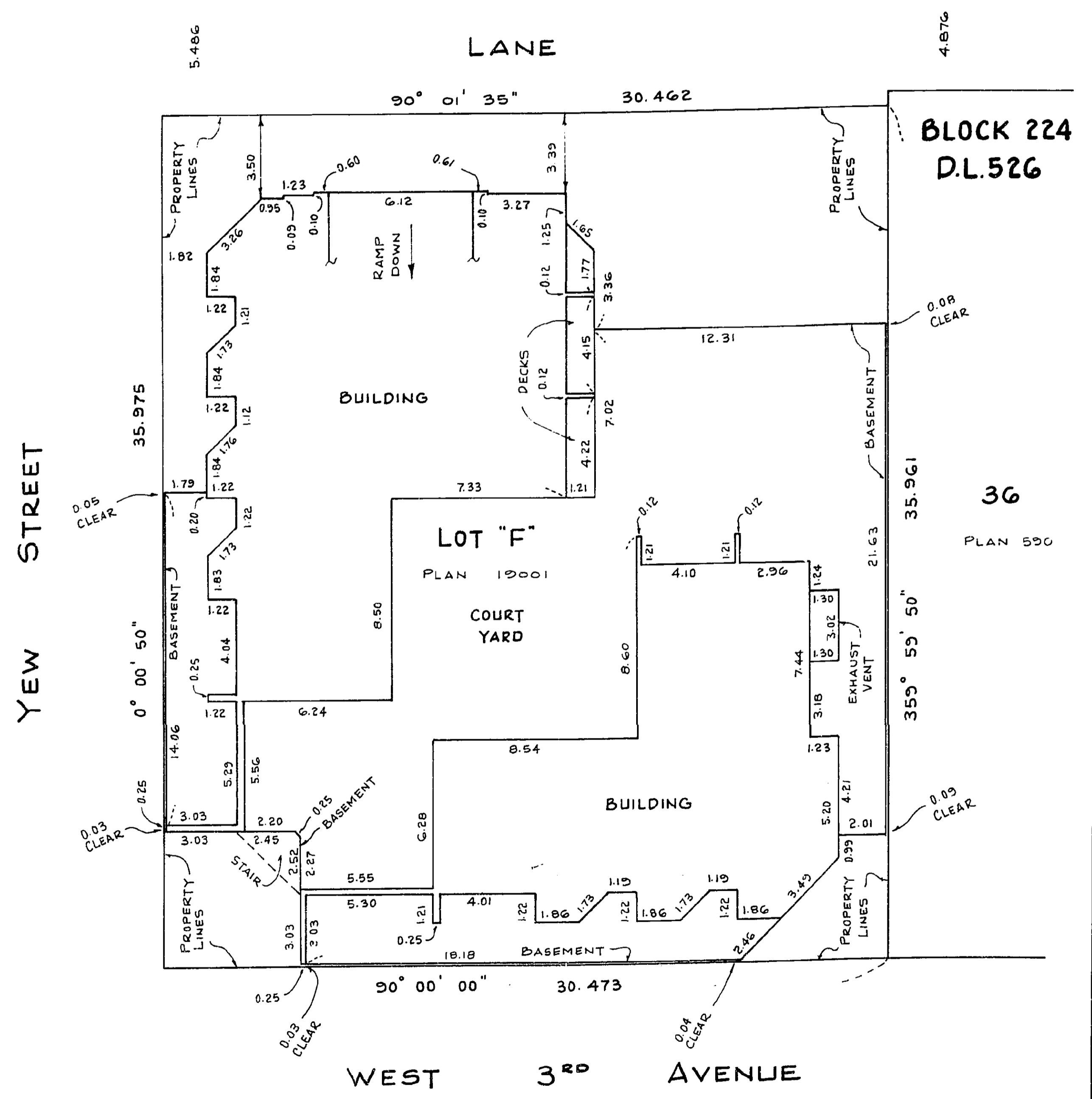
KEY PLAN

SCALE: 1:200

ALL DISTANCES ARE IN METRES

THE ADDRESS FOR SERVICE OF DOCUMENTS ON
THE STRATA CORPORATION IS:-
THE OWNERS, STRATA PLAN Vt 1191
42800 - 650 WEST GEORGIA ST, VANCOUVER, B.C.
V6B-4R7 ATT. MR DAVID GILLANDERS

THE CIVIC ADDRESS OF THE BUILDING IS:-
2181 WEST 3RD AVENUE,
VANCOUVER, B.C. V6K 1L2



I, K.G. KYLER, OF NORTH VANCOUVER, B.C., A BRITISH COLUMBIA
LAND SURVEYOR, HEREBY CERTIFY THAT THE BUILDING ERECTED
ON THE PARCEL DESCRIBED ABOVE LIES WHOLLY WITHIN THE
EXTERNAL BOUNDARIES OF THAT PARCEL.

DATED AT NORTH VANCOUVER, B.C.,
THIS 28TH DAY OF JUNE 1982

PROPERTY LINE TIES ARE TO EXTERIOR
OF MAIN WALLS.

THIS PLAN LIES WITHIN THE GREATER
VANCOUVER REGIONAL DISTRICT

LOACH, HOBBS & KYLER,
B.C. LAND SURVEYORS,
NORTH VANCOUVER, B.C.

SECOND SHEET

SHEET 2 OF 10 SHEETS

CONDOMINIUM ACT

STRATA PLAN 1191

LOT No.	SHEET No.	FORM 1 (SECTION 4 (f))	FORM 2 (SECTION 4 (g))	FORM 3 (SECTION 4 (h))
		SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
		UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
1	5 & 6	759	4 268	
2	5 & 6	601	3 174	
3	5 & 6	562	2 975	
4	5 & 6	562	2 917	
5	5 & 6	601	3 130	
6	5 & 6	967	5 413	
7	5 & 6	836	4 602	
8	6, 7 & 8	789	5 437	
9	6, 7 & 8	951	6 526	
10	6	610	3 337	
11	6, 7 & 8	963	6 820	
12	6, 7 & 8	891	6 218	
13	7 & 8	564	3 566	
14	7 & 8	633	4 032	
15	7 & 8	593	3 742	
16	7 & 8	593	3 742	
17	7 & 8	566	3 605	
18	7 & 8	566	3 605	
19	7 & 8	669	4 449	
20	7 & 8	669	4 333	
21	7 & 8	566	3 488	
22	7 & 8	566	3 488	
23	7 & 8	590	3 611	
24	7 & 8	607	3 522	
AGGREGATE		16274	100,000	

ACCEPTED AS TO FORMS 1 AND 2 THIS 14TH DAY OF September 1982 *Clare Black*
SUPERINTENDENT OF INSURANCE

STATUTORY DECLARATION

- I, THE UNDERSIGNED, DO SOLEMNLY DECLARE THAT:
- I, THE UNDERSIGNED, AM THE DULY AUTHORIZED AGENT OF THE OWNER DEVELOPER
 - THE STRATA PLAN IS ENTIRELY FOR RESIDENTIAL USE.

I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND
KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH

DECLARED BEFORE ME AT Vancouver IN THE PROVINCE OF
BRITISH COLUMBIA, THIS 9 DAY OF July 1982

A NOTARY PUBLIC IN AND FOR THE PROVINCE OF BRITISH COLUMBIA

SIGNATURES AS REQUIRED (SECTION 7 (1)(d))

OWNER - DEVELOPER
777222 ENTERPRISES LTD.

MORTGAGEE
THE ROYAL BANK OF CANADA

[Signature]
AUTHORIZED SIGNATORY

[Signature]
[Signature]

CERTIFICATE UNDER SECTION 8 (1)

I, K.G. KYLER, OF NORTH VANCOUVER, B.C., A BRITISH COLUMBIA LAND
SURVEYOR HEREBY CERTIFY THAT THE BUILDING SHOWN ON THIS STRATA PLAN
HAS NOT AS OF THE 28TH DAY OF JUNE 1982 BEEN PREVIOUSLY OCCUPIED

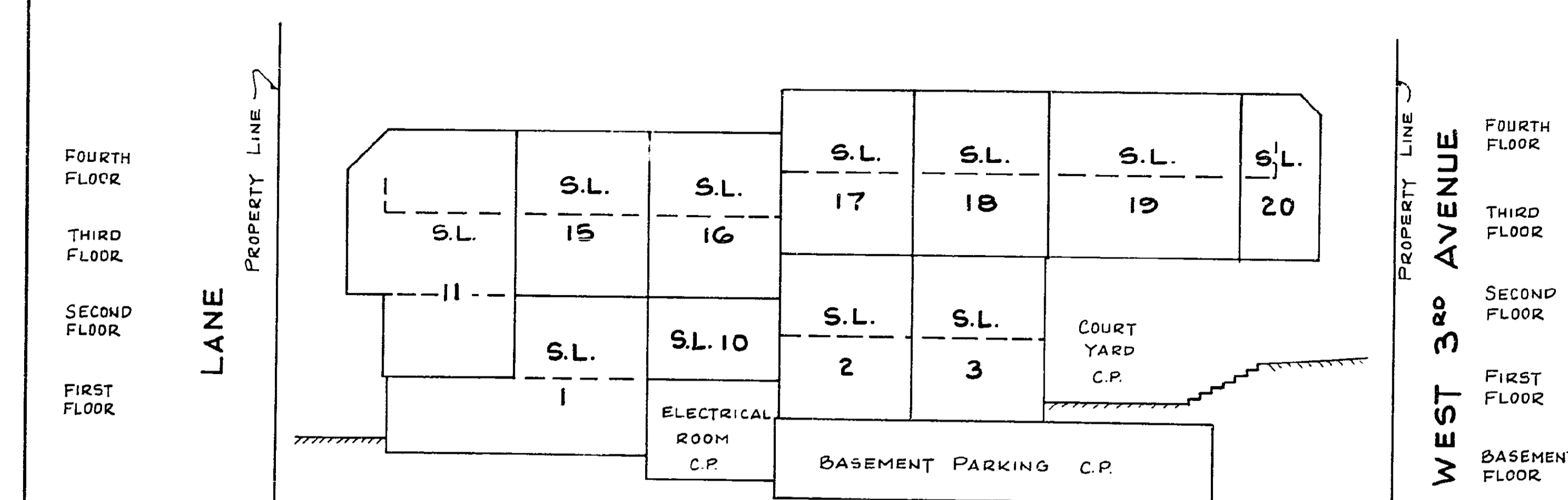
DATED AT NORTH VANCOUVER, BRITISH COLUMBIA THIS 28TH DAY OF JUNE 1982

[Signature] B.C.L.S. JUNE 28TH 1982

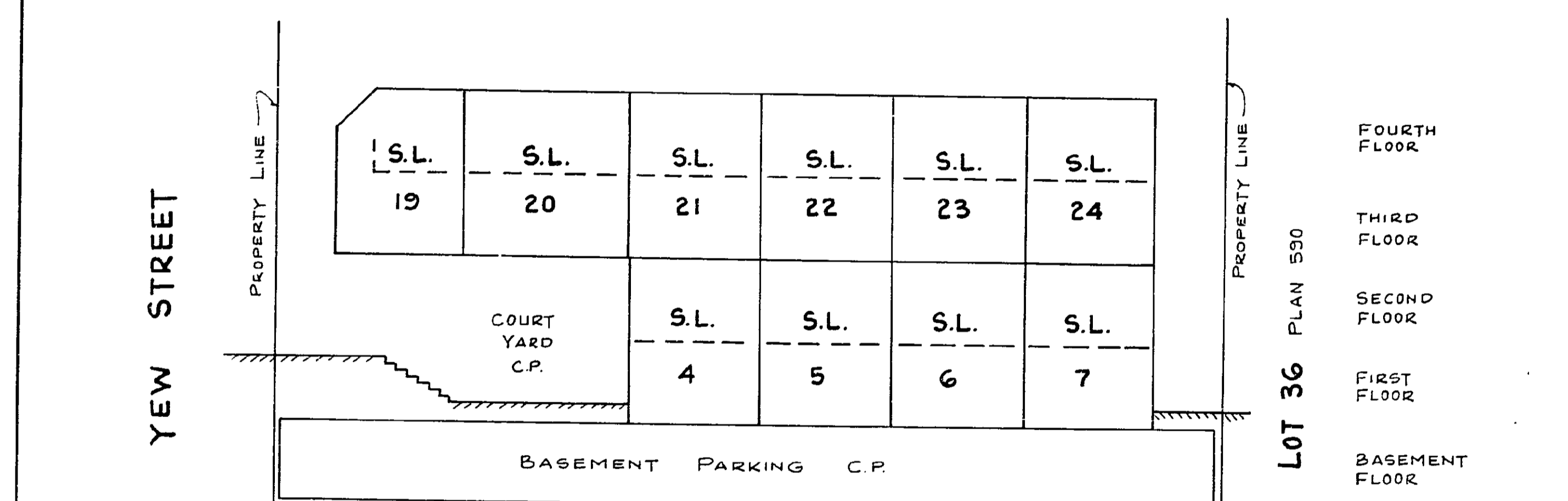
SECTIONS

SCALE: 1:200

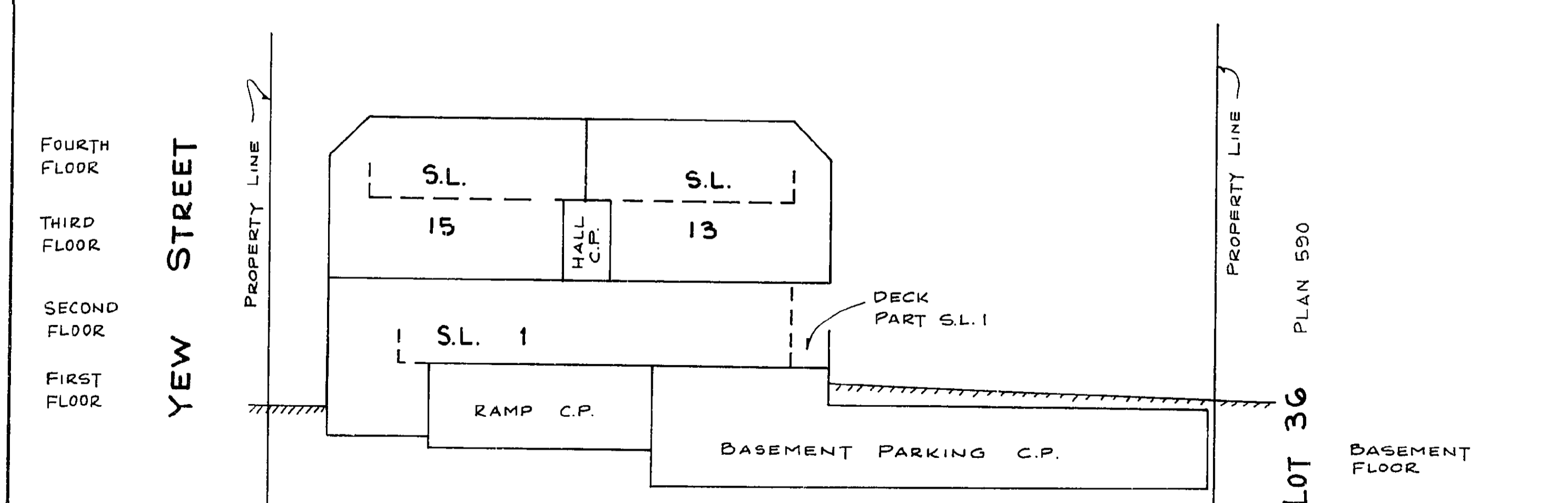
STRATA PLAN 1191



SECTION 'A-A'



SECTION 'B-B'



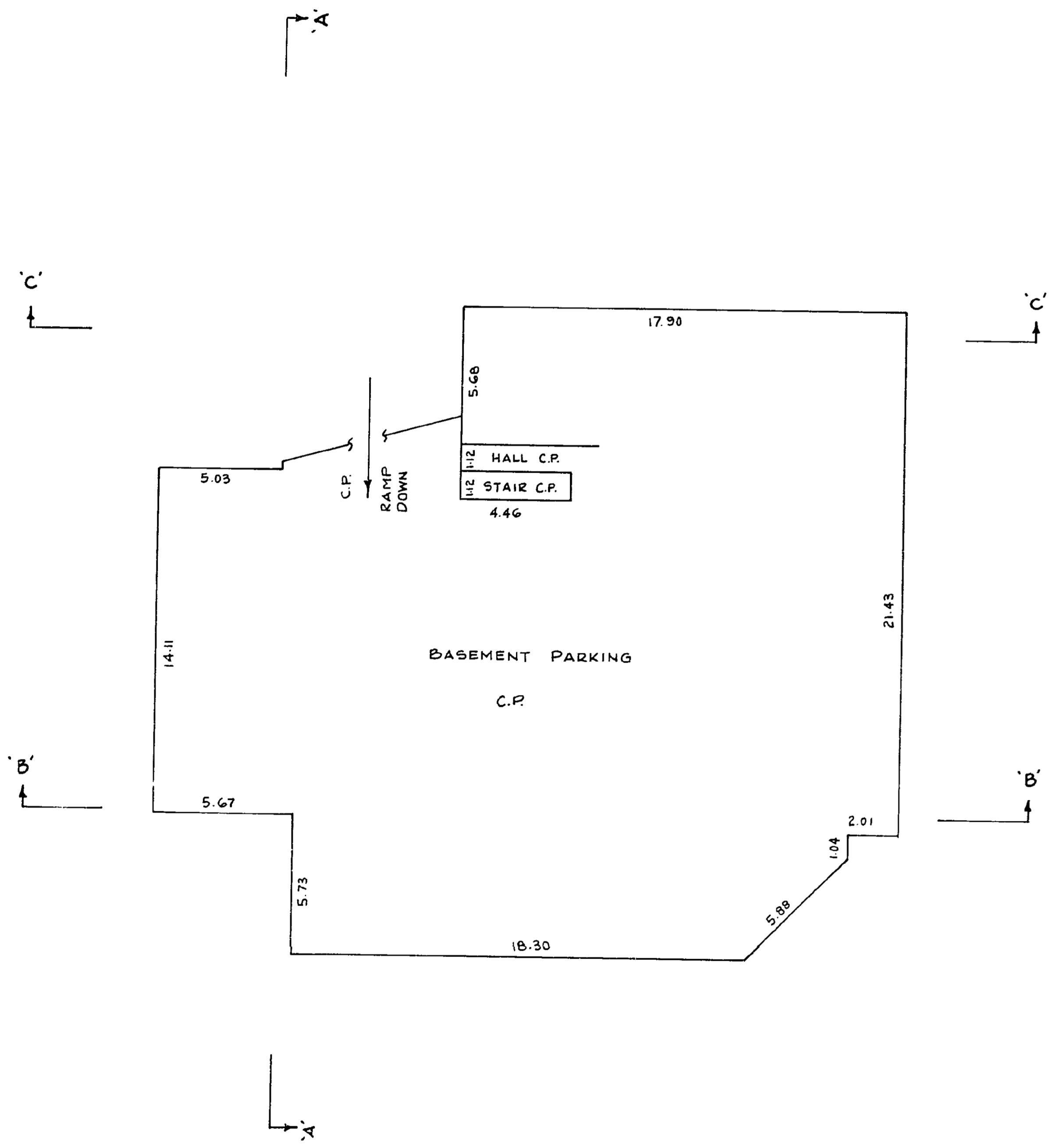
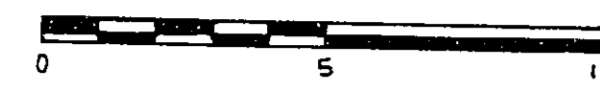
SECTION 'C-C'

LEGEND
S.L. DENOTES STRATA LOT
C.P. " COMMON PROPERTY

[Signature] B.C.L.S. JUNE 28TH 1982

BASEMENT FLOOR

SCALE:- 1:200

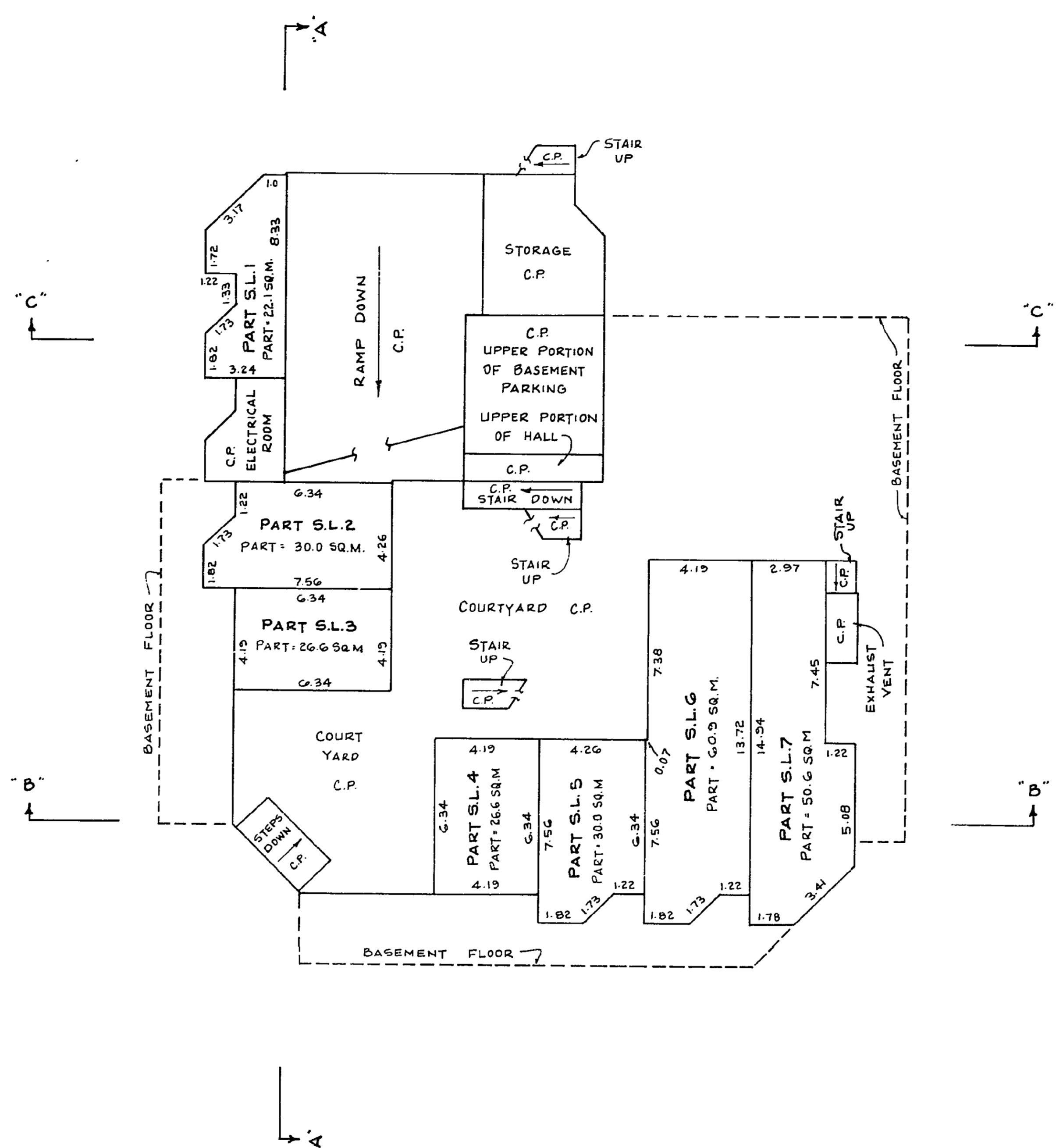
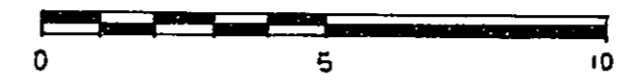


LEGEND
C.P. DENOTES COMMON PROPERTY

B.C.L.S.
JUNE 28TH 1982

FIRST FLOOR

SCALE:- 1:200



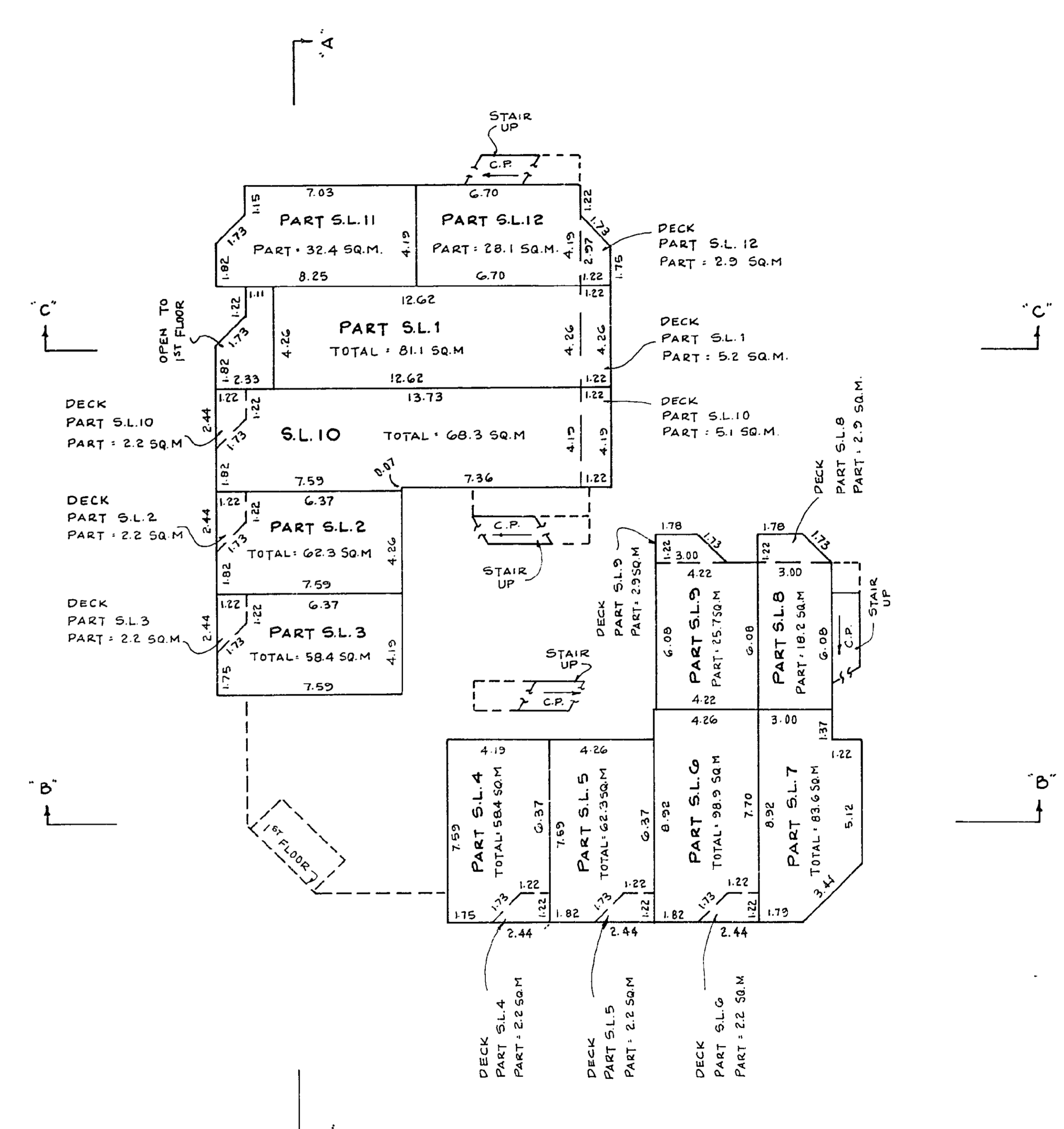
LEGEND
S.L. DENOTES STRATA LOT
SQ.M. - SQUARE METRES
C.P. - COMMON PROPERTY

THIS SHEET SHOWS THE AREAS OF THE FIRST FLOOR ONLY OF STRATA LOTS 1 TO 7

B.C.L.S.
JUNE 28TH 1982

SECOND FLOOR

SCALE:- 1:200



LEGEND
S.L. DENOTES STRATA LOT
SQ.M. - SQUARE METRES
C.P. - COMMON PROPERTY

THIS SHEET SHOWS THE AREAS OF THE SECOND FLOOR ONLY OF STRATA LOTS 8, 9, 11 AND 12

THIS SHEET SHOWS THE TOTAL AREAS OF STRATA LOTS 1 TO 7 AND 10

DECKS ARE PART OF THE STRATA LOTS AND ARE INCLUDED IN THE TOTAL AREAS

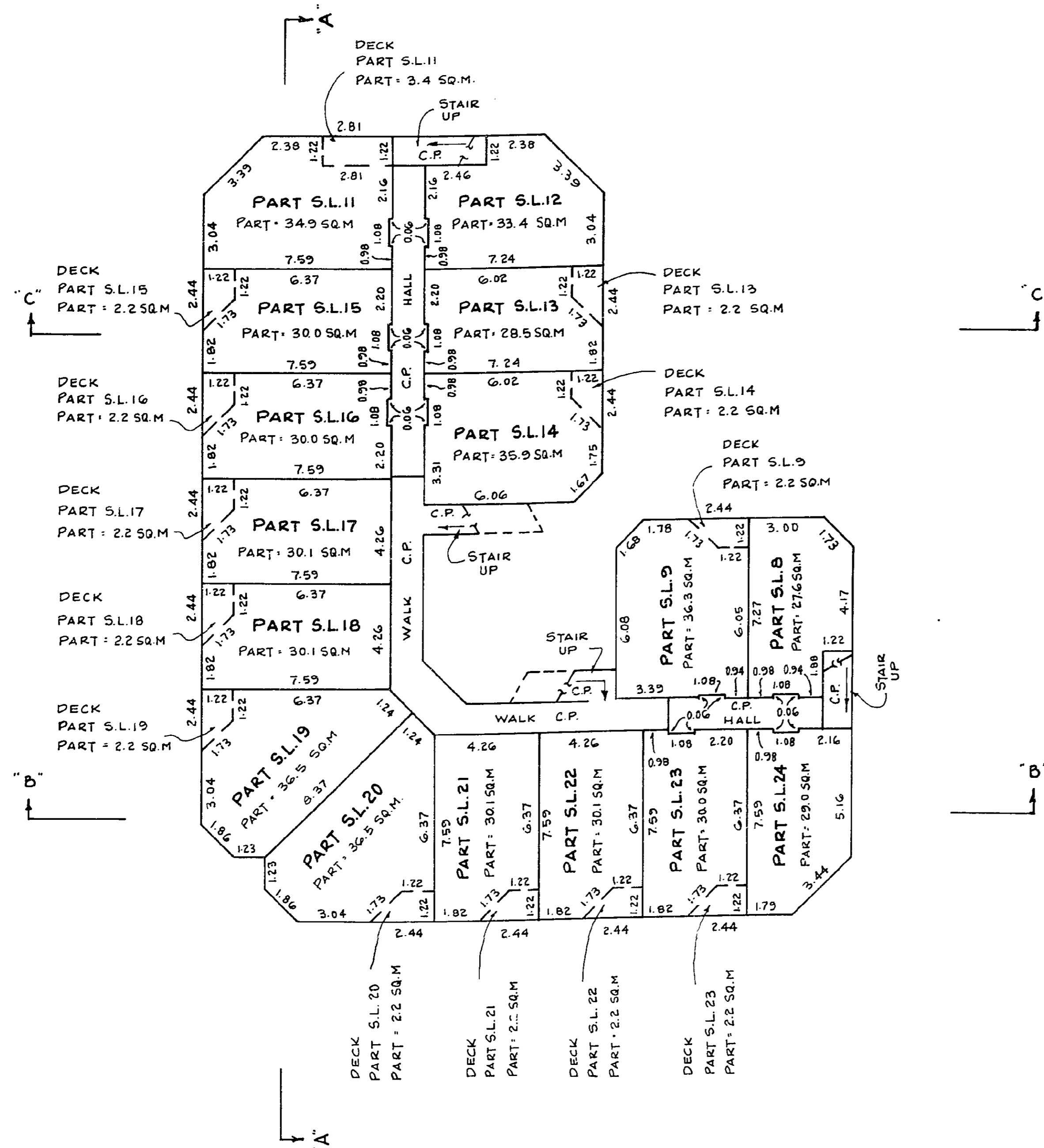
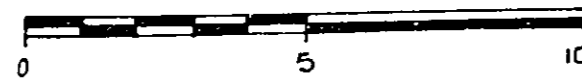
THE UPPER LIMIT OF DECKS ARE DEFINED BY THE PRODUCTION OF THE HORIZONTAL PLANES OF THE MIDDLE OF THE CEILING OF THE STRATA LOTS

B.C.L.S.
JUNE 28TH 1982

SHEET 7 OF 10 SHEETS
STRATA PLAN 1191

THIRD FLOOR

SCALE :- 1 : 200



LEGEND
S.L. DENOTES STRATA LOT
SQ.M. " SQUARE METRES
C.P. " COMMON PROPERTY

THIS SHEET SHOWS THE AREAS OF THE THIRD FLOOR ONLY OF STRATA LOTS 8, 9 AND 11 TO 24

DECKS ARE PART OF THE STRATA LOTS AND ARE INCLUDED IN THE TOTAL AREAS

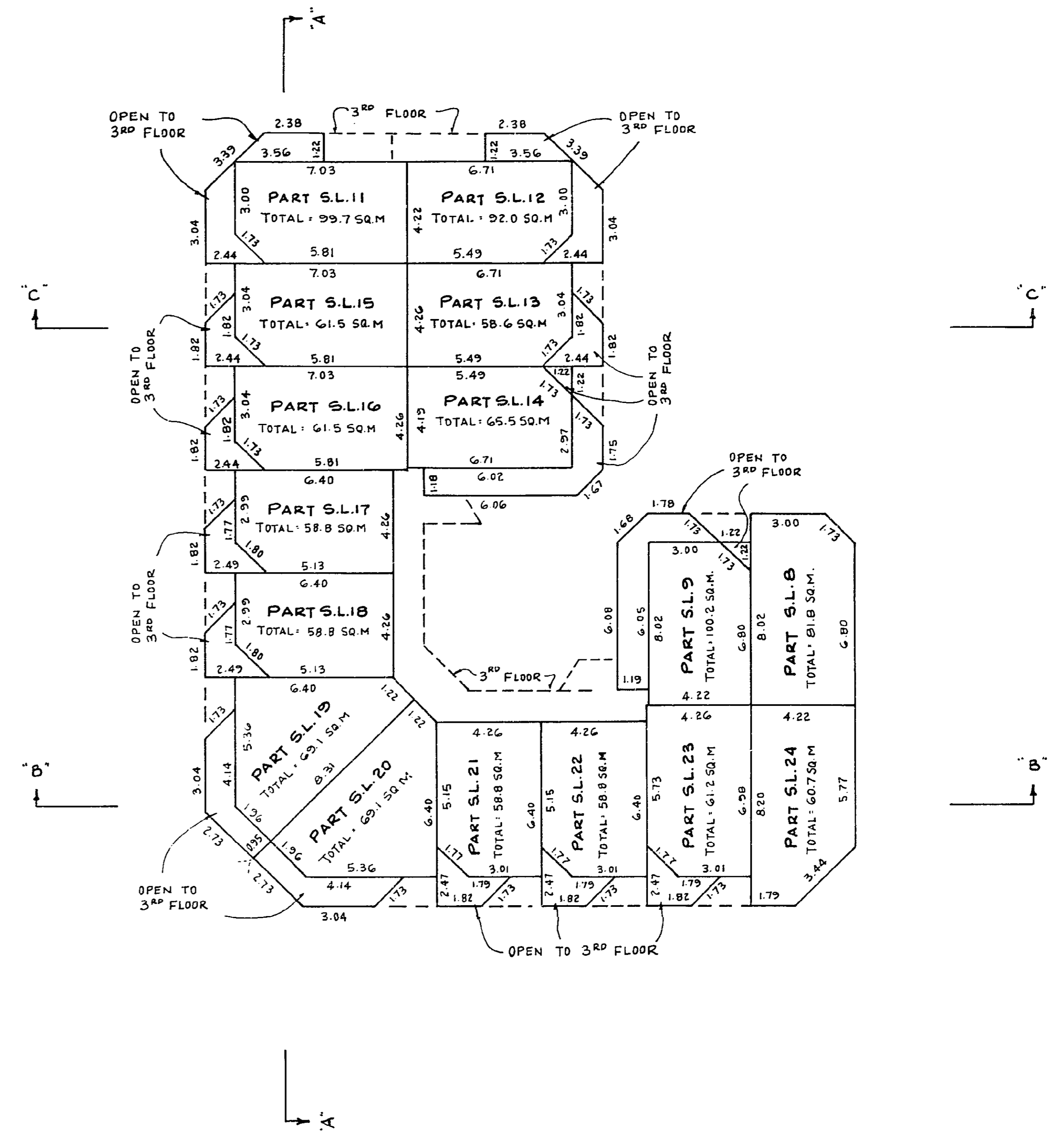
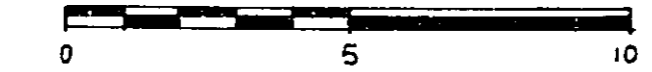
THE UPPER LIMIT OF THE DECKS ARE DEFINED BY THE PRODUCTION OF THE HORIZONTAL PLANES OF THE MIDDLE OF THE CEILINGS OF THE STRATA LOTS

[Signature] B.C.L.S.
JUNE 28TH 1982

SHEET 8 OF 10 SHEETS
STRATA PLAN 1191

FOURTH FLOOR

SCALE :- 1 : 200



LEGEND
S.L. DENOTES STRATA LOT
SQ.M. " SQUARE METRES

THIS SHEET SHOWS THE TOTAL AREAS OF STRATA LOTS 8, 9 AND 11 TO 24

[Signature] B.C.L.S.
JUNE 28TH 1982

